

CITY OF LA VERNE DEVELOPMENT REVIEW COMMITTEE AGENDA

Eric Scherer, Chair
Cody Howing, City Engineer
Danny Wu, Public Works



City Hall
3660 "D" Street
La Verne, CA 91750
(909) 596-8706
www.laverneca.gov

Tuesday, March 3, 2026 – 9:00 a.m.
City Hall Council Chambers
3660 "D" Street, La Verne, CA 91750

Attendance and participation at the City of La Verne Development Review Committee meetings are welcomed and appreciated. Community engagement provides the Development Review Committee with valuable information. Regular Meetings are held on the 1st Tuesday of every month. In compliance with the American Disabilities Act, any person with a disability who requires a modification or accommodation in order to participate in a meeting should contact the City Clerk's Office at (909) 596-8726 at least 48 hours prior to the meeting.

The Council Chambers will be open to the public at 9:00 a.m. Materials related to an item on this agenda, submitted to the Development Review Committee after distribution of the agenda packet, are available for public inspection at the meeting or in the Community Development Department during normal business hours.

1. CALL TO ORDER

2. PUBLIC COMMENT

This is the time set aside for anyone wishing to address the Development Review Committee on items not listed in any other place on this agenda.

California Law does not allow the Development Review Committee to take action in response to your statements at this meeting. Your concerns may be referred to staff or set for hearing at a later date.

3. APPROVAL OF ACTION MINUTES – February 3, 2026

4. PROJECT REVIEWS PUBLIC HEARING

Note: Due to time constraints, discussion on these items will be limited to 30 minutes each.

PROJECT: A REQUEST TO INSTALL A NEW 720-SQUARE FOOT STORAGE SHED AT FIRE STATION #2

CASE NO.: 6-26PPR

ADDRESS: 4785 WHEELER AVENUE

Project Planner: Kaitlyn Cavan, Planning Intern

Environmental: Exempt from the California Environmental Quality Act per Section 15303 (Class 3)

Action:

5. ADJOURNMENT

The next meeting of the Development Review Committee is scheduled to be held on April 7, 2026 at 9:00 a.m. at City Hall, 3660 "D" Street, La Verne, CA 91750.

Proof of Posting I declare under penalty of perjury that I am employed by the City of La Verne in the Community Development Department; and that I posted this agenda in the City Hall Council Chambers on February 26, 2026.

2/26/26

Date



Signature

CITY OF LA VERNE DEVELOPMENT REVIEW COMMITTEE ACTION MINUTES

Eric Scherer, Chair
Cody Howing, City Engineer
Danny Wu, Public Works



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1. CALL TO ORDER

Mr. Scherer called the meeting to order at 9:01 a.m.

Voting members present: Eric Scherer, Cody Howing, and Danny Wu. Mr. Howing participated remotely per Government Code 54953.8.3 (c)(2).

Others present: Planning Intern Kaitlyn Cavan, Assistant Planner Valerie Chin, and Principal Planner Candice Bowcock

2. PUBLIC COMMENT

This is the time set aside for anyone wishing to address the Development Review Committee on items not listed in any other place on this agenda.

California Law does not allow the Development Review Committee to take action in response to your statements at this meeting. Your concerns may be referred to staff or set for hearing at a later date.

None

3. APPROVAL OF ACTION MINUTES – December 9, 2025

It was moved by Mr. Wu and seconded by Mr. Howing to approve the minutes of the December 9th meeting. The motion carried by a 3-0 vote.

4. PROJECT REVIEWS PUBLIC HEARING

Note: Due to time constraints, discussion on these items will be limited to 30 minutes each.

PROJECT: CONDITIONAL USE PERMIT FOR LA VERNE MUSIC SCHOOL

CASE NO.: 130-25CUP

ADDRESS: 1502 FOOTHILL BOULEVARD, #104

Project Planner: Kaitlyn Cavan, Planning Intern

Environmental: Exempt from the California Environmental Quality Act per Section 15301 (Class 1) (e) and is exempt per Section 15061(b) (3)

Action: The applicant Luis Cordova was present at the meeting.

It was moved by Mr. Howing and seconded by Mr. Wu to recommend approval of Case No. 130-25CUP. Motion carried by a 3-0 vote.

PROJECT: CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A PHOTOGRAPHY STUDIO (STUDIO 86)

CASE NO.: 1-26CUP

ADDRESS: 2984 1ST STREET, UNIT O

Project Planner: Valerie Chin, Assistant Planner

Environmental: Exempt from the California Environmental Quality Act per Section 15301 (Class 1) (a) and is exempt per Section 15061(b) (3)

Action: The applicant Uriel Sanchez was present at the meeting.

It was moved by Mr. Wu and seconded by Mr. Howing to recommend approval of Case No. 1-26CUP with added conditions regarding storage access. Motion carried by a 3-0 vote.

PROJECT: A REQUEST BY THE YOUTH AND FAMILY ACTION COMMITTEE (YFAC) FOR PUBLIC ART ON CITY-OWNED UTILITY BOXES

CASE NO.: N/A

LOCATIONS: WHEELER AVENUE AND BONITA AVENUE, DAMIEN AVENUE AND BONITA AVENUE, E STREET AND 2ND STREET, D STREET AND BEARCAT WAY

Project Planner: Erin Beilstein, Senior Management Analyst

Environmental: N/A

Action: The Development Review Committee provided direction on the locations and artwork. Staff will go back to the Youth and Family Action Committee (YFAC) and other groups for input.

5. ADJOURNMENT

Mr. Scherer adjourned the meeting at 9:51 a.m. The next meeting of the Development Review Committee is scheduled to be held on March 3, 2026 at 9:00 a.m. at City Hall, 3660 "D" Street, La Verne, CA 91750.

Respectfully submitted,



Natalie Hiatt, Administrative Secretary

City of La Verne, Development Review Committee Agenda Report



DATE: March 3, 2026
TO: Development Review Committee
FROM: Kaitlyn Cavan, Planning Intern
SUBJECT: Case No. 6-26PPR – 4785 Wheeler Avenue – La Verne Fire Station #2
New 720SF Storage Shed.

SUMMARY

The La Verne Fire Department is requesting to install a new 720-square-foot storage shed at Fire Station #2 located at 4785 Wheeler Avenue. The Development Review Committee is reviewing this application as it is empowered to approve, conditionally approve, or deny precise plan application projects proposed in official zones within the City per Section 18.16.080 of the La Verne Municipal Code.

RECOMMENDATION

Staff recommends that the Development Review Committee approve Case No. 6-26PPR based on this staff report and the findings and conditions contained in the attached draft approval letter (Attachment 1) and standard conditions of approval (Attachment 2).

DISCUSSION

On January 27, 2026, Fire Chief Brandon Coatney, representing the La Verne Fire Department, submitted an application to install a new 720-square-foot storage shed at Fire Station #2 located at 4785 Wheeler Avenue. The Development Review Committee is reviewing this application as it is empowered to approve, conditionally approve, or deny precise plan application projects proposed in official zones within the City per Section 18.16.080 of the La Verne Municipal Code.

The proposed storage shed will be located in the northwest corner of the property. The shed is composed of all metal and is twelve feet in height. The colors of the shed will match the existing fire station. (Attachment 3) According to Section 18.36.032 of the La Verne Municipal Code, accessory structures must have a rear and side yard setback of at least four feet. The proposed storage shed has three-foot rear and side setbacks. Section 18.56.110 of the Municipal Code states that the Development Review Committee, in the case of precise plans, may permit smaller setbacks for uses in the official zone provided that the change is necessary, the impacts are minimized, the changes are still code compliant, and the benefits outweigh any potential adverse effects. Staff finds that the reduced setback is necessary due to the unique shape and layout of the lot; that impacts to neighboring properties will be minimized; that the shed will remain in compliance with the Building Code, and that the change is necessary to accommodate the growing demands and operations of the fire station.

This project also includes the addition of two parallel parking stalls to the east of the proposed shed.

COMPATIBILITY WITH SURROUNDING USES

The use of the proposed shed is consistent with the site's current operation and will be an incidental use to the fire station. No change of land use will occur as a result of the proposed shed.

Residential land uses surround the property on all sides. The proposed shed is not considered major construction and should not result in a nuisance for the nearby residents. Therefore, the proposed shed is compatible with the surrounding uses.

ENVIRONMENTAL ANALYSIS

This project is categorically exempt from the California Environmental Quality Act per CEQA Guidelines Section 15303 Class 3 in that the project involves the installation of a new, small structure. No further environmental review is required at this time.

ATTACHMENTS

1. Draft Approval Letter
2. Draft Standard Conditions of Approval
3. Plans



CITY OF LAVERNE CITY HALL

3660 "D" Street, La Verne, California 91750-3599
www.cityoflaverne.org

March 3, 2026

City of La Verne
Fire Department
Attn: Brandon Coatney, Fire Chief
4785 Wheeler Avenue
La Verne, CA 91750

**SUBJECT: CASE NO. 6-26PPR - CONDITIONAL APPROVAL
-NEW 720 SQ. FT. STORAGE SHED ON THE PROPERTY
LOCATED AT 4785 WHEELER AVENUE**

Dear Mr. Coatney:

The Community Development Department has considered your application to install a new 720-square-foot storage shed at the City of La Verne Fire Station #2 located at 4785 Wheeler Avenue. In accordance with chapter 18.16 of the La Verne Municipal Code, your project has been approved based upon the following findings:

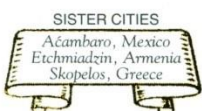
- 1. The subject application is consistent with the general plan and conforms to all specific plans, zoning, and other applicable ordinances and subdivision requirements and resolutions.**

The application is consistent with the City of La Verne General Plan and all development standards of the Official zone.

- 2. The site is safe, functional and environmentally sensitive to the surroundings. Grading, where required, minimizes environmental damage to the extent possible.**

The site will remain safe and functional, the proposed changes do not have a substantive effect on site safety and function of the site. Grading is not required for this project and therefore will not damage the environment.

- 3. The architecture proposed observes community standards and protects the character of the adjacent development.**



The proposed architecture complements that of the existing buildings at the facility. The proposed structure is visible from the right-of-way but given that it is complementary to the existing buildings, it will observe community standards and protect the character of adjacent developments.

4. The landscaping plan ensures visual relief, providing an attractive environment for the public's enjoyment.

No major landscape changes have been proposed with this project. The property is expected to remain attractive for the public's enjoyment.

Approval of Case No. 6-26PPR is subject to the following conditions:

1. The applicant shall abide by the attached **Standard List of Conditions**.
2. Any changes to the color, materials, or design must be approved by the Community Development Department. Architectural elements not proposed to be changed on the submitted plans shall remain in place or be refreshed like-for-like.
3. Any revisions to the approved plans or proposal shall require review and approval by the Community Development Department before installation/construction.
4. A final inspection from the case Planner or their designee shall be required. New, reconstructed, or preserved elements shall be of a quality and design satisfactory to the inspecting Planner. Any deficiencies shall be corrected to the satisfaction of the inspecting Planner before the building permits can be made final, signed, and closed out.
5. The enclosed affidavit acknowledging the above conditions and the Standard List of Conditions shall be signed by the applicant and returned to the Community Development Department prior to issuance of building permits.
6. If any of the work undertaken requires building permits (at the discretion of the Building Inspector/Department), then the applicant must obtain building permits from the building department before the start of construction. The building department is open from 7:30 a.m. to 12:00 p.m., Monday through Thursday.

The approval of Case No. 6-26PPR is subject to a ten (10) day appeal period commencing from the date of this letter. Should you desire any further information, please contact Kaitlyn Cavan of my staff at (909) 596-8706.

Sincerely,

Eric Scherer, AICP
Community Development Director



By: Kaitlyn Cavan
Planning Intern

Enclosure: Affidavit
Standard Conditions

C: Building Department

DRAFT



City of La Verne
Community Development Department

STANDARD CONDITIONS OF APPROVAL

Date: March 3, 2026

Project Name: Storage Shed

Case No.: 6-26PPR

Project Address: 4785 Wheeler Ave

DPN:

Applicant: Brandon Coatney - Fire Chief

All projects approved by the City of La Verne shall meet the standard conditions checked by each department unless specifically exempted by the City. The standard conditions must be complied with prior to the issuance of any occupancy permits. Call the appropriate department listed below, if you have any questions concerning specific conditions on this list.

Applicant shall comply with all conditions of approval for:

Tract Number:

Parcel Map Number:

Resolution Number:

Environmental Determination: Cat Ex

Required Planning Department Conditions (909-596-8706)

- NOTICE: - This project is located within a community that has a Home Owner's Association (HOA). The covenants, conditions and restrictions of the community may require that you secure approval from the association before proceeding. The City assumes no liability for any failure to contact your association.
- NOTICE – This project is located within the Hillside Development Overlay Zone (HDOZ). The project is subject to all conditions of the HDOZ as outline in the La Verne Municipal Code (LVMC 18.68).
- Prior to issuance of building permits, all revisions must be resubmitted for review and approval.
- Building permits will not be issued in connection with any project until such time as all plan check fees, and all other applicable fees, are paid in full.
- The project approval does not relieve the applicant from compliance with other Federal, State, and City requirements.

Required Planning Department Conditions (continued)

- To the fullest extent permitted by law, the applicant shall indemnify, defend, and hold harmless the City of La Verne, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements, and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of this project including, but not limited to, the approval of all applications associated with this project; and/or the City's related California Environmental Quality Act determinations such as the certification of the environmental decision, the adoption of a Mitigation Monitoring Program (if one was adopted), and/or statement of overriding considerations (if adopted) for this project. This indemnification shall include, but not be limited to, damages awarded against the City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which the City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.
- The project approval expires one year from the effective date of approval (LVMC 18.16.130).
- All construction and development shall conform to the approved plans on file with the Community Development Department.
- The project approval shall not take effect for any purpose until the applicant has filed with the City of La Verne an affidavit stating that he/she is aware of and accepts all of the conditions set forth in the letter of approval, any associated resolutions, and this list of standard conditions.
- NO OCCUPANCY will be granted until ALL IMPROVEMENTS required by this approval have been completed, inspected and approved by the appropriate department.
- Prior to issuance of building permits, all school fees shall be paid. The applicant shall provide the City with written verification of compliance from the Bonita Unified School District.
- Prior to issuance of building permits, all fees payable under State Law shall be paid (including park, water, sewer, fire facility, and other related fees.) To secure a precise accounting of these fees, contact the Finance Department at (909) 596-8716.
- The applicant shall comply with the City of La Verne business license ordinance and cooperate with the City to obtain compliance by contractors and subcontractors, etc. (L.V.M.C. 5.08.020).
- The applicant shall comply with the City of La Verne burglar alarm permit ordinance. If burglar alarms are to be installed, no building permit shall be issued until all required fees are paid. For more information, contact the Police Department at (909) 596-1913.
- All new residential units shall include a recirculating hot water system.

Required Planning Department Conditions (continued)

- All new low-rise residential buildings (single-family or multi-family buildings with three (3) habitable stories or less, including detached Accessory Dwelling Units) shall have a photovoltaic (PV) system meeting the minimum qualification requirements specified by the California Energy Commission's Building Energy Efficiency Standards.
- Architectural treatment and landscaping of grouped mailboxes shall be reviewed and approved by both the U.S. Postal Service and the La Verne Community Development Department.
- Design and placement of all exterior light fixtures shall be reviewed and approved by the Community Development Department.
- Architectural details of doors and window mullions shall be reviewed and approved by the Community Development Department.
- Exterior architectural colors and finishes shall match those of the existing structures to the satisfaction of the Community Development Department.
- The applicant shall provide for installation of cable television conduits and facilities to the satisfaction of the assistant city manager or designee.
- Every applicant for a permit of any type of ground sign shall file with the Community Development Department, before the permit is granted, a cash deposit in the sum of \$750. The deposit is to ensure the faithful performance by the applicant of the provisions of the sign ordinance, and of all laws and ordinances relating to signs and sign structure. The deposit will be refunded upon satisfactory completion of all conditions of approval.
- Prior to issuance of building permits, the Community Development Department shall review and approve all Southern California Edison underground utility transformer locations for compatibility with the site design. All portions of the transformers that are above ground shall be adequately screened with landscaping and/or screen walls. Landscaping shall be reviewed and approved by the City Landscape Architectural Consultant and the Community Development Department.
- Copies of all recorded tract maps shall be sent to Bonita Unified School District, 115 W. Allen Avenue, San Dimas, CA 91773, Attn: Asst. Superintendent.
- All roof top appurtenances and equipment shall be adequately screened from view to the satisfaction of the Community Development Department.
- All trash enclosure locations and designs shall be approved by the City's franchise waste hauler and the Community Development Department prior to the issuance of building permits.
- All ground level mechanical/utility equipment (including meters, backflow protection devices, fire valves and other equipment) shall be screened by screening walls and/or landscaping to the satisfaction of the Community Development Department.

Required Planning Department Conditions (continued)

- No structure may be built within a designated fuel modification easement or area. Please contact the Community Development Department or the Fire Department regarding fuel modification requirements in your area.
- No fences or walls may be built without first securing a permit from the Community Development Department.
- Applicant is advised that this application may be subject to the Americans with Disabilities Act (ADA). ADA requires that public and private facilities be designed to provide reasonable accommodation for the needs of disabled persons. For more information, consult your architect or attorney.
- Transportation demand management and trip reduction measures, required for compliance with air quality and congestion management regulations, shall be approved by the Community Development Department and implemented prior to final occupancy (L.V.M.C. 18.24).
- (For properties in Lordsburg involving new construction): Payment not to exceed \$_____ shall be made to the City for provision of benches, trash receptacles, or bicycle racks meeting the standards of the Lordsburg Specific Plan and/or the City's congestion management ordinance.
- Applicant shall provide a bus bench , trash receptacle , or bicycle racks in accordance with the following manufacturer and specification:

Required Public Works Department Conditions (909 596-8741)

- Applicant shall obtain a public works permit for all work in or adjacent to the public right-of-way.
- Applicant shall install and complete all necessary public improvements, including but not limited to streets, curbs, gutters, sidewalks, handicap ramps, and storm drains, along the entire street frontage of the development site as required by the Public Works Director.
- Applicant shall abide by all National Pollution Discharge Elimination System (NPDES) requirements including the installation of erosion control and slope stabilization measures necessary to prevent siltation and other debris from being carried offsite and eventually entering the storm drain system, and in conformance with the applicable provisions of the Construction General Permit.
- Applicant shall comply with all requirements of the Low Impact Development (LID) Ordinance (Section 13.60 of the La Verne Municipal Code) and the current Municipal Separate Storm Sewer System (MS4) Permit to the satisfaction of the City Engineer and Public Works Department.

Required Public Works Department Conditions (continued)

- Applicant shall be required to provide painted curb numbers to the specifications of the Public Works Director and "STOP" signs painted on the pavement at exists and intersections.
- All utilities shall be placed underground including facilities and wires for the supply and distribution of electrical energy, telephone, etc.
- Easements for the following underground utilities shall be provided: Water ; Sewer ; Storm Drains . Other as specified:
- Submit street improvement plans showing proposed construction of: Curbs ; Gutters ; Storm drains ; Sidewalks . These plans shall be subject to approval by the City Engineer.
- Water service facilities shall be installed to the satisfaction of the City Engineer.
- A separate water service line from the water meter to the residence will be required on all new or renovated residences for a fire sprinkler system. For more information see Public Works Standard Drawing W-1.
- Backflow prevention devices shall be installed to the satisfaction of the Public Works Director.
- All commercial projects shall install backflow prevention devices to the satisfaction of the Public Works Director.
- Water service during construction shall be available after the installation of the water facilities is complete, applicable water fees and meter charges have been paid, and application for service has been made.
- An advance payment for temporary water service is required during the construction period. Upon landscape development and or approval of final building occupancy, temporary water service shall be discontinued unless specific arrangements have been made to the satisfaction of the Public Works Director to continue temporary water service to a later date.
- No finals will be given until all as-built site improvements plans have been submitted to the Public Works Department.
- The property shall be annexed to the Los Angeles County Sanitation District.
- Sanitary sewer facilities shall be installed to the satisfaction of the City Engineer and Public Works Director.
- Back water valves on sewer connections shall be installed to the satisfaction of the Public Works Director.
- The applicant shall provide the City with a Backflow Device Test Form, filled out by a certified licensed tester before any final permits are released.

Required Public Works Department Conditions (continued)

- The applicant is required to utilize Waste Management for all refuse and debris handling as the City of La Verne has an exclusive franchise agreement with the company. Please contact Waste Management at (909) 599-1274.

Required Fire Department Conditions (909-596-5991)

- The required on-site minimum fire flow shall be installed and made available to the satisfaction of the Fire Chief, Public Works Director and City Engineer prior to the construction involving combustible materials.
- Provide fire sprinkler; system hook-ups and post indicator/OS & Y valves approved by the Fire Department.
- A set of construction drawings approved by the Building Department must be on file with the Fire Department prior to issuance of any building permits.
- Water mains and hydrants shall be installed and be operational prior to and during the time of construction involving combustible materials (2013 California Fire Code).
- Fire apparatus access roads shall be provided and serviceable prior to and during the time of construction involving combustible materials. The access roads shall be constructed to support the imposed loads of fire apparatus, with all-weather driving surfaces, with a minimum width of 20 feet, with a minimum vertical clearance of 13 feet 6 inches, and with turnarounds for apparatus on dead-end access roads in excess of 150 feet (2013 California Fire Code).
- Unless approved otherwise by the fire chief, all combustible plant material must be cleared 100 feet from a new structure.
- A permit must be obtained from the Fire Department for temporary storage of lumber used to construct 6 or more houses. The permit will be issued on the basis of good access for fire fighting purposes, availability of water and distances to structures or fire hazards.
- All new construction, commercial or residential, shall have an approved automatic fire sprinkler system installed throughout the structure. This system shall be installed according to appropriate NFPA code and the La Verne sprinkler ordinance.
- A set of sprinkler plans and hydraulic calculations shall be submitted for approval to the Fire Department prior to the start of installation.

Required Landscape Conditions

- Final landscape and irrigation plans shall be reviewed and approved by the City's landscape architect prior to issuance of building permits.

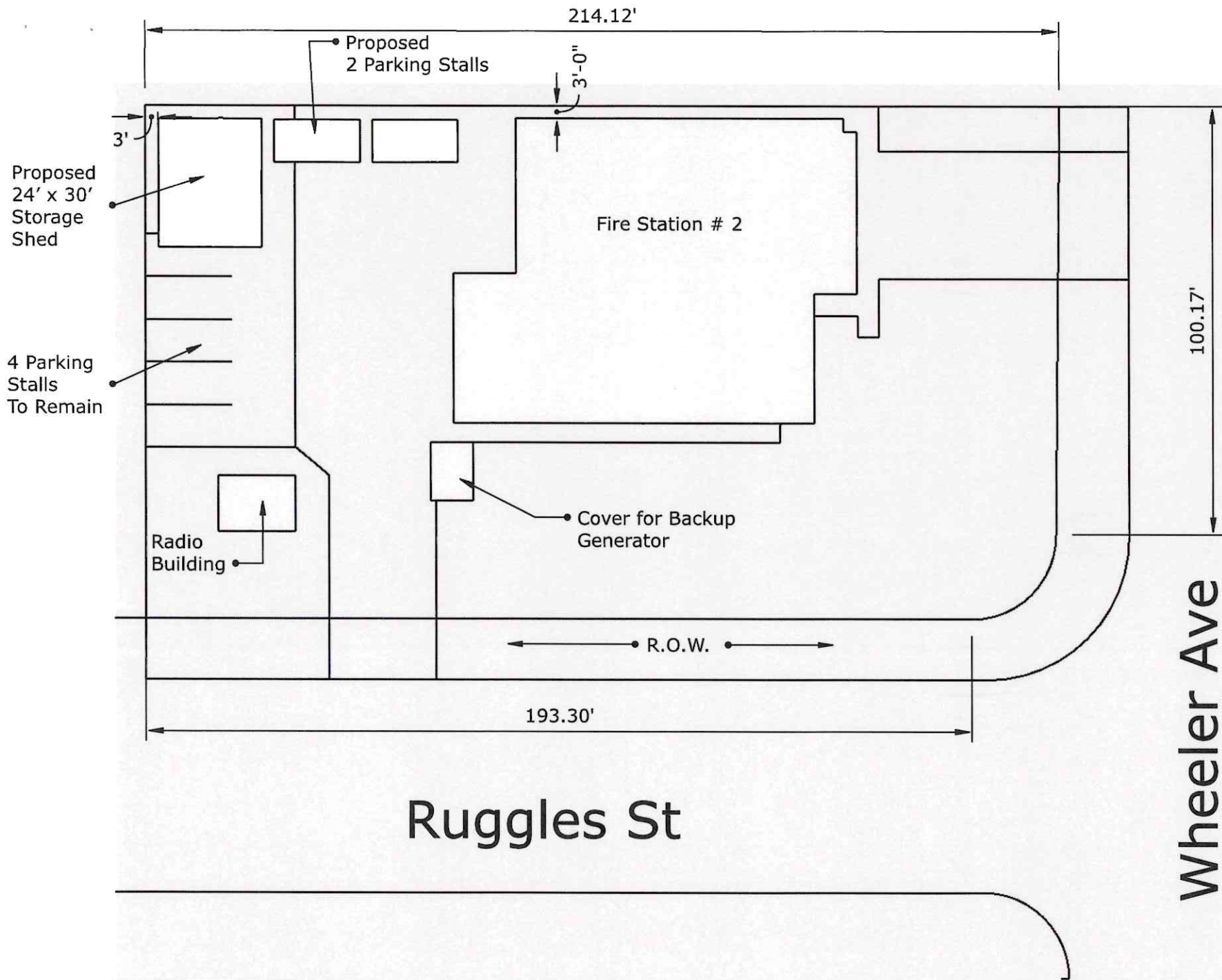
Required Landscape Conditions (continued)

- Final tree preservation plans shall be reviewed and approved by the City's landscape architect prior to issuance of building permits.
- The area under the drip line of all existing trees, which are to be saved as determined by the City's landscape architect, shall be fenced 5' beyond the drip line during construction. Grading operations shall be restricted under them to prevent soil compaction around the trees and to protect them from damage.
- No trees shall be removed other than those shown on the approved plans. No trees may be removed until a building or grading permit has been issued.
- A permanent maintenance program of all landscaping shall be provided insuring regular irrigation, fertilization and weed abatement.
- All existing and/or proposed landscaping shall be maintained in an acceptable manner during construction and after the project is completed, and is subject to periodic review by the Community Development Department for compliance.
- Approved street trees shall be planted in the front setback area of every lot, to the specification of the parks manager (909-596-8705).
- Landscape materials and irrigation systems are to be inspected by a city representative prior to final release of utilities.

Project Location



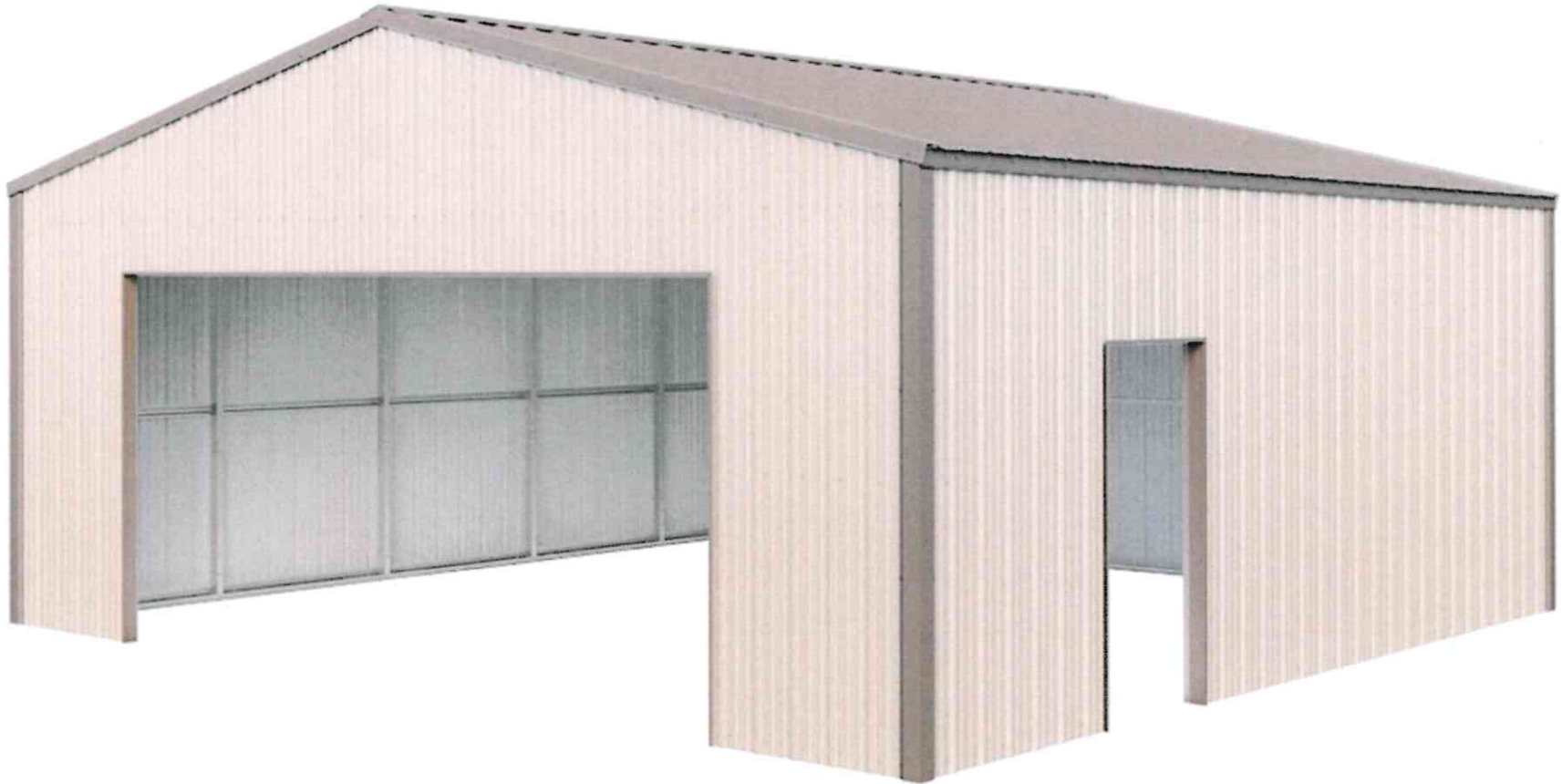
Fire Station #2 Shed/Metal Building
Proposed 24 x 30 (720SF) Storage Building- City of La Verne Fire Department – 4785 Wheeler Avenue- La Verne, CA-91750
APN 8664007902



Fire Station #2 Storage Shed
 4785 Wheeler Ave
 La Verne, CA 91750

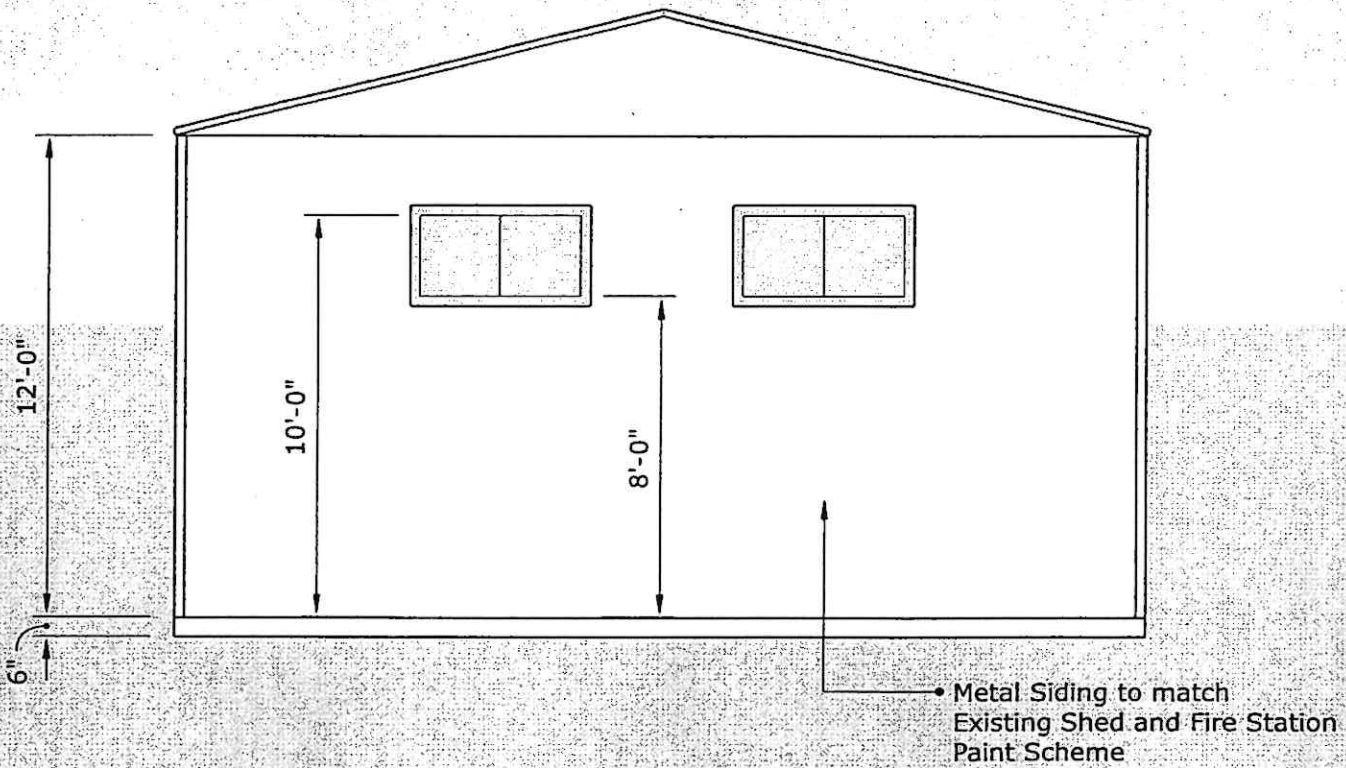
Proposed PLOT PLAN

Drawn by: FF Colin Purdy
 La Verne Fire Department



Fire Station #2 Shed/Metal Building
4785 Wheeler Ave
La Verne, CA 91750

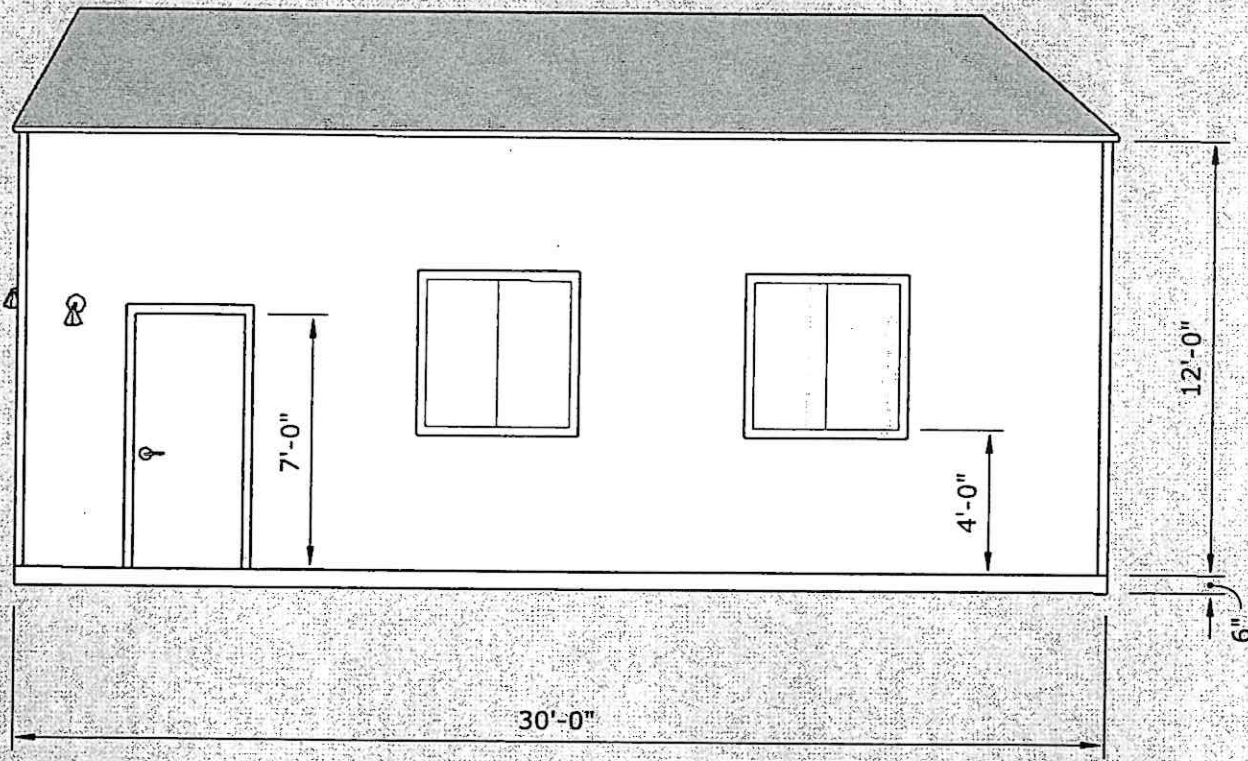
ELEVATION



Fire Station #2 Shed/ Metal Building
4795 Wheeler Ave.
La Verne, CA 91750

NORTH ELEVATION

Drawn by: FF Colin Purdy
La Verne Fire Department

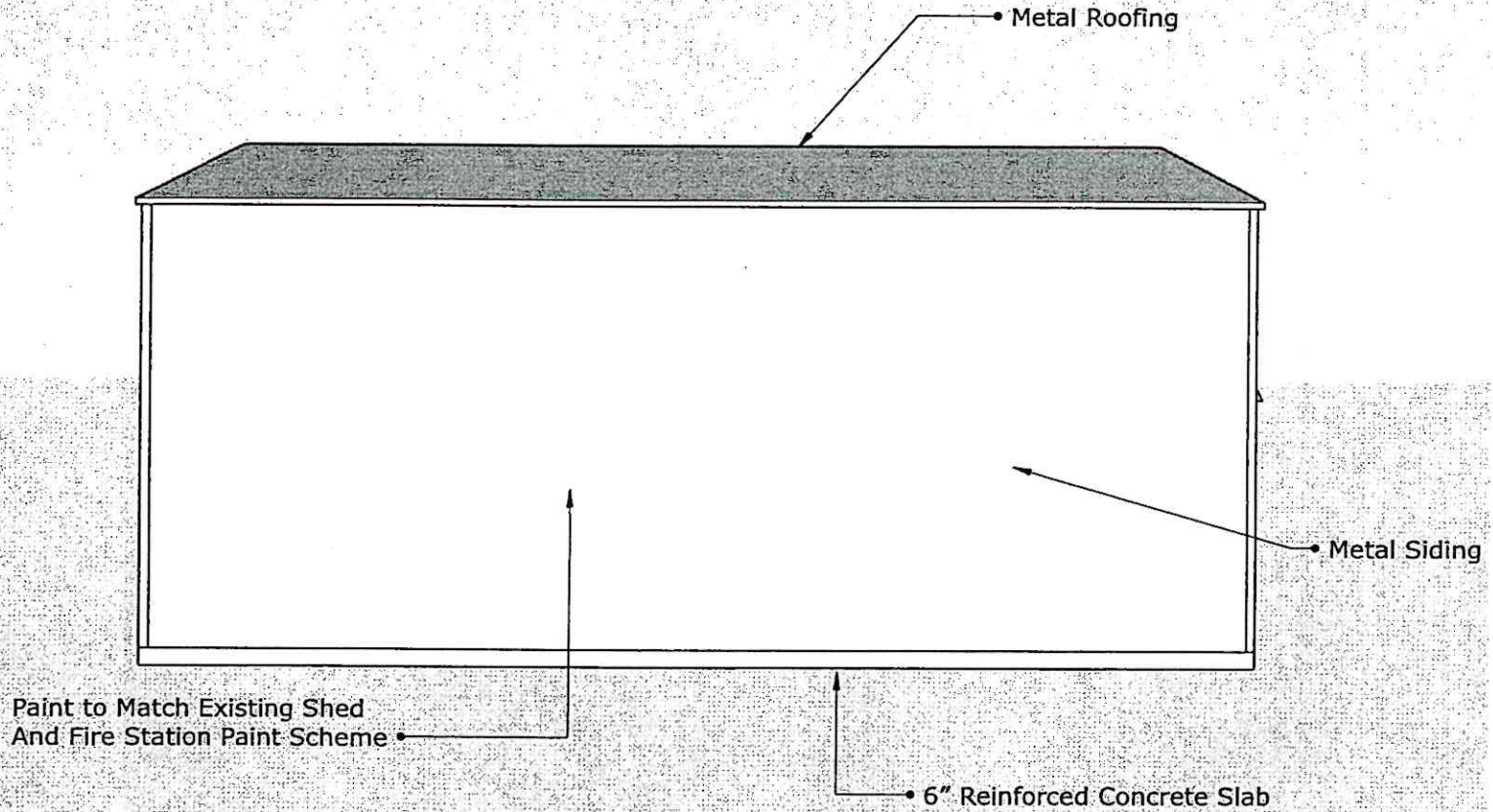


Fire Station #2 Shed/ Metal Building
4795 Wheeler Ave.
La Verne, CA 91750

EAST ELEVATION

Drawn by: FF Colin Purdy
La Verne Fire Department

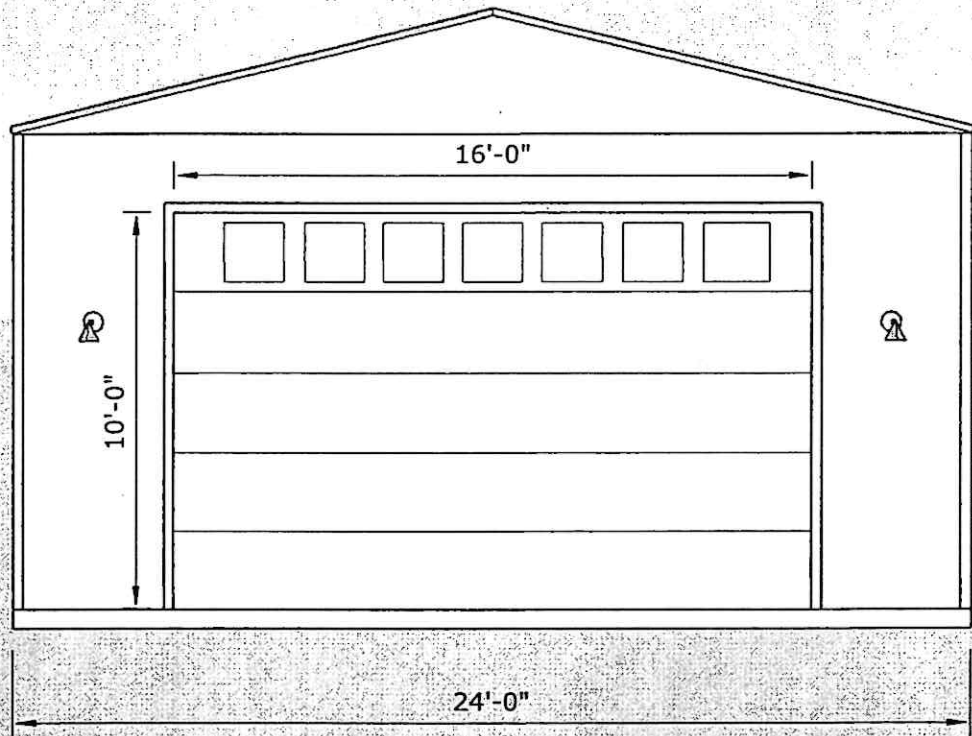
24' x 30' Versatube
Summit Garage Kit



Fire Station #2 Shed/ Metal Building
4795 Wheeler Ave.
La Verne, CA 91750

WEST ELEVATION

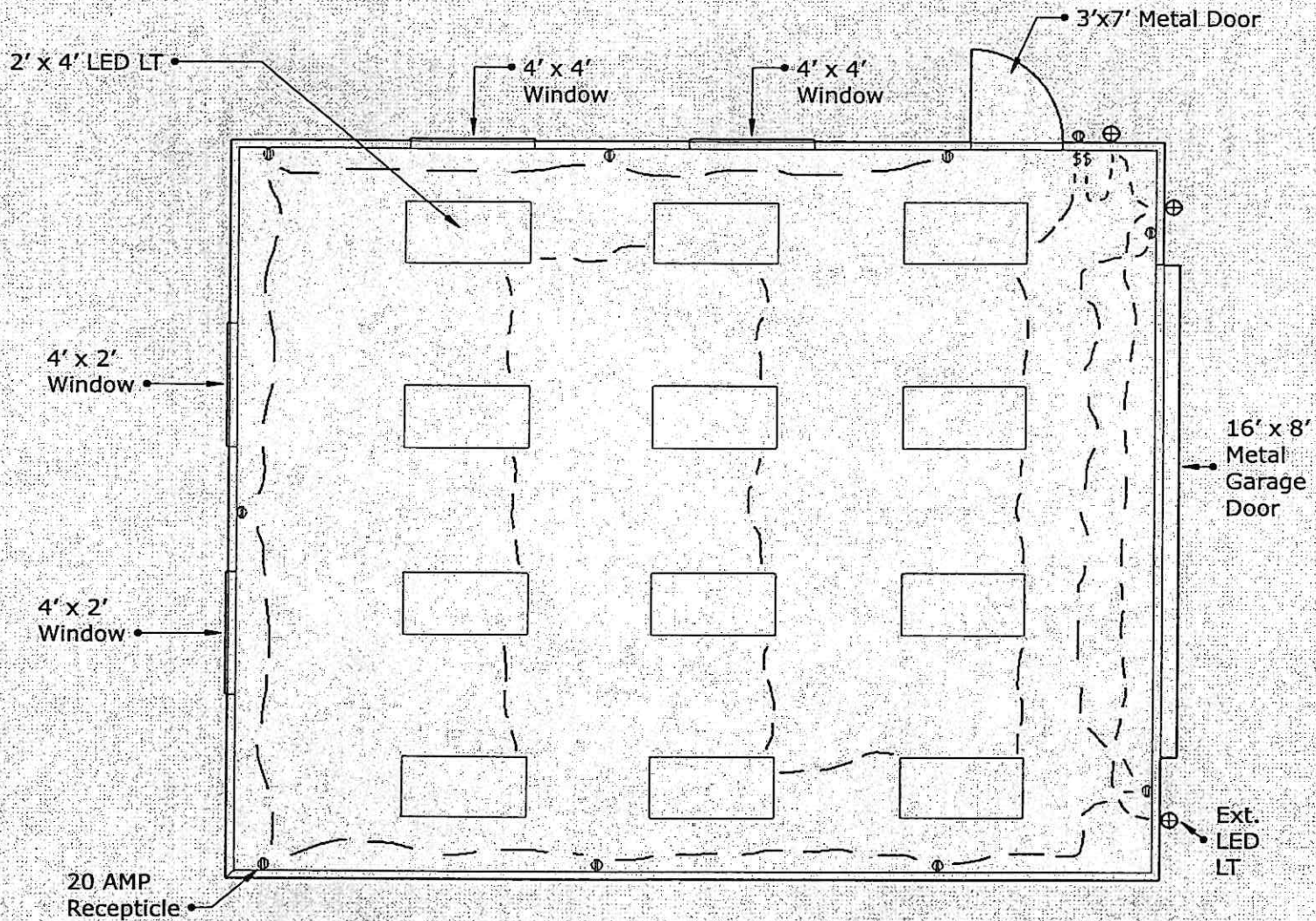
Drawn by: FF Colin Purdy
La Verne Fire Department



Fire Station 2 Shed/ Metal Building
4795 Wheeler Ave.
La Verne, CA 91750

SOUTH ELEVATION

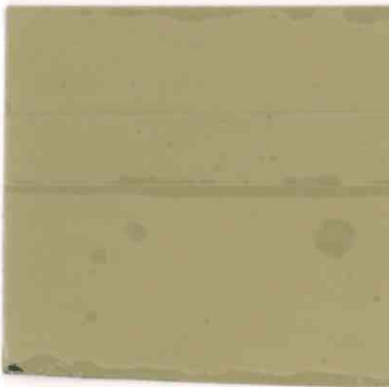
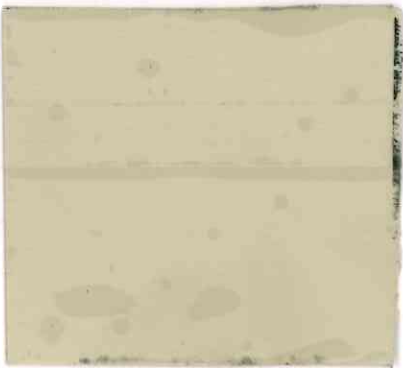
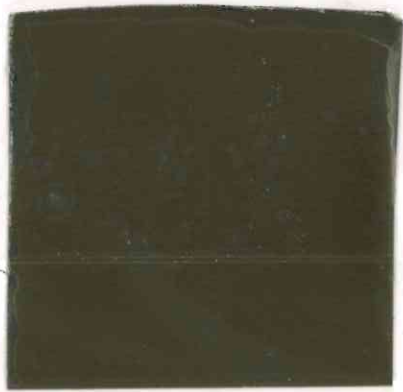
Drawn by: FF Colin Purdy
La Verne Fire Department



Fire Station #2 Shed/ Metal Building
 4795 Wheeler Ave.
 La Verne, CA 91750

FLOOR PLAN

Drawn by: FF Colin Purdy
 La Verne Fire Department



Fire Station #2 Shed/Metal Building
4785 Wheeler Ave
La Verne, CA 91750

PROPOSED COLOR SCHEME